



## LOUISIANA NATURAL AND SCENIC RIVERS SYSTEM

**PERMIT APPLICATION**Permit # 1396 (Assigned by Department)

The Louisiana Department of Wildlife and Fisheries' Scenic Rivers program is authorized by LRS title 56, Chapter 8 Part II. This law requires permits authorizing activities in or affecting rivers that have been designated by the Louisiana Legislature as Natural and Scenic. Information provided on this form will be used in evaluating the application for a permit. Information in this application is made a matter of public record through issuance of a public notice. Disclosure of the information requested is voluntary, however, the data requested necessary in order to communicate with the applicant and to evaluate the permit application. If necessary information is not provided, the permit application cannot be processed nor can a permit be issued.

**APPLICANT INFORMATION**

Name of Applicant	Walt Leger III	Name of Agent (if any)	Burk Construction and Development
Address	7822 Belfast Street	Address	6260 Vicksburg St
City, State, Zip	New Orleans, LA 70125	City, State, Zip	New Orleans, LA, 70124
Phone	504-884-8444	Phone	504-488-8600
Email Address	waltleger3@gmail.com	Email Address	will@byburk.com

**DESCRIPTION OF THE PROPOSED ACTIVITY**

Brief summary of the description and purpose of the proposed activity (details to be attached as a separate document)
New construction of a residential house
Is any portion of the activity complete? YES or <u>NO</u> (If yes, indicate month and year of completion)

**LOCATION OF PROPOSED ACTIVITY**

Stream Name	Bayou St John
Address	5830 Bancroft Dr
City, State, Zip	New Orleans, LA, 70124
Parish	Orleans
Sec/Township/Range	District: Third, Square: 46, Lot: 9
Latitude/Longitude	30deg 01' 01.53"N, 90deg 04' 59.91" W

**ADJACENT LANDOWNERS**

Names, Addresses, Phone Numbers of Adjacent Landowners
Jackie Burk, 5840 Bancroft, 504-605-5086
Jeanne Garman, 5816 Bancroft Dr

**ENVIRONMENTAL ASSESSMENT**

Must be a separate document. See the attached instruction sheet for completing the assessment.

**CONFIRMATION OF INFORMATION ACCURACY**

Application is hereby made for a Scenic River Permit to authorize the activities described herein. I certify that I am familiar with the information contained in this application and that, to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities, or I am acting as the duly authorized agent of the applicant.
---

  
Signature

12/17/2025  
Date

JEFF LANDRY  
GOVERNOR



TYLER M. BOSWORTH  
SECRETARY

PO BOX 98000 | BATON ROUGE LA | 70898

Dear Scenic River Permit Applicant:

Please review and concur on the following statement regarding the issuance of permits by the Louisiana Department of Wildlife and Fisheries. This agreement must be signed and returned before a Scenic River Permit can be issued.

"I have been advised and do understand that by applying for and accepting a Scenic Rivers permit issued by the Louisiana Department of Wildlife and Fisheries, I am being allowed to engage in an activity which would otherwise be prohibited by law or for which a permit is required. I understand that the permit is not a license and confers no property right upon me. I specifically agree to abide by all State and Federal fish and wildlife laws and regulations, and all State and Federal laws and regulations which relate to this permit or the permitted activity, and by all other terms and conditions of this permit. I understand that the permit for which I am applying may be suspended, annulled, withdrawn or revoked and that I may be assessed civil penalties, all in accordance with the provision of the Louisiana Administrative Procedure Act, and that I may be denied future permits as a consequence of my failure to fully and completely comply with the terms and conditions of the permit, as well as other laws and regulations pertinent thereto. If served with or notified of a cease and desist order signed by the Scenic Rivers Administrator, I agree to immediately and without delay cease all activities and operations which relate to the permitted activity or which are impacting the Scenic River, until such time as the matter can be resolved in an adjudicatory hearing pursuant to the Louisiana Administrative Procedure Act. I understand and agree that any permit issued to me by the Louisiana Department of Wildlife and Fisheries is in the nature of a privilege which is being voluntarily extended to me by the Department and the failure on my part to cooperate with the Department can result in the loss of the privilege conferred and the denial of future requests for permits. By accepting this permit, I evidence my agreement to be bound by all conditions and stipulations set forth herein."

  
Authorized Signature

12/17/2025  
Date

REV. 5/23/25

## **Scenic River Permit Attachments**

### **Project Description**

The proposed project involves the construction of a single-family residential structure and dock located at **5830 Bancroft Drive, New Orleans, LA 70124**, adjacent to Bayou St. John. A scaled architectural site plan drawing is attached for reference to the site layout and proposed work.

### **Permits**

- City of New Orleans Building Permit (Permit Attached)



# SAFETY & PERMITS

## BUILDING PERMIT

### DESCRIPTION OF APPROVED WORK

Construction of a 2 story single family home. Pool construction to be filed on a separate permit

USE TYPE: Single Family Dwelling  
IMPROVEMENT TYPE: New Construction  
ZONING: S-RS

FLOOD ZONE: AE  
ELEVATION REQUIREMENT: -1.99 NAVD  
VALUE OF APPROVED WORK: \$484,999.00

### NOT VALID UNLESS POSTED ON SITE

**THIS PERMIT MUST REMAIN PUBLICLY POSTED AT ALL TIMES WHILE WORK IS IN PROGRESS**

**Verify the authenticity of this permit or find more information about the project by visiting [nola.gov/onestop](http://nola.gov/onestop) or by scanning this code using a smartphone and searching the permit number in the dark blue oval at the top of the page.**

This permit conveys no right to violate any provisions of the New Orleans Amendments to the International Building Code or Comprehensive Zoning Ordinance. A permit becomes invalid unless the work authorized by the permit is commenced within 180 days after its issuance, or if the work authorized on the permit is suspended or abandoned for a period of 180 days after the time the work is commenced. This permit conveys no right to occupy any street, alley, or part thereof, either temporarily or permanently. Encroachments on public property must be approved by the appropriate City agency; separate permits must be obtained from other City or State agencies as required by law. This permit is subject to issuance of a final Certificate of Occupancy or Certificate of Completion; otherwise same is null and void. It is unlawful to occupy any building or portion thereof without said certificate.

**IT IS UNLAWFUL TO POUR ANY FOUNDATION, CLOSE ANY WALL, OR COVER ANY SPACE WITHOUT PRIOR APPROVAL FROM THE BUILDING INSPECTION DIVISION. FOR INFORMATION OR TO SCHEDULE AN INSPECTION, PLEASE CALL 504-658-7100.**

1340 Poydras St, Suite 800 • New Orleans • LA • 70112 • (504) 658-7100 • [nola.gov/onestop](http://nola.gov/onestop)

**SOLO EL TRABAJO DESCRITO ANTERIORMENTE PUEDE REALIZARSE LEGALMENTE EN ESTE EDIFICIO**



5830 Bancroft Dr

25-15310-NEWC

7/23/2025

Applicant: William Burk

## **Scenic Rivers – Environmental Assessment**

### **1. Existing Land Use**

The land is owned by Walt and Danielle Leger and used for residential housing activities. The property is a vacant lot that is located on a residential street with single family residences on each lot.

### **Wilderness Qualities**

The project will have no negative impact on wilderness qualities. The neighboring properties each have a single-family residence. One of the adjacent properties includes a dock along the bank of the bayou.

### **2. Scenic/Aesthetic Values**

The scenic values will not be negatively impacted by the proposed project. We are building a single-family house that will match the neighborhood's architecture design and aesthetic.

### **3. Ecological Regimes**

No changes to the current system.

### **4. Recreational Use/Opportunities**

This is a residential site which services 5 people throughout the year, family only. This construction will improve our ability to enjoy the value and beauty of Bayou St John.

### **5. Fish and Other Aquatic Life**

Fish and other aquatic life will not be negatively impacted by the proposed project. There will be no work in the bayou except for the pilings for the dock. There will be no discharge of waters or sediment.

### **6. Wildlife**

The project will have no negative impact on wildlife habitat as the site is infrequently used and no trees or shrubs were cleared to complete the project. No clearing needed to complete the project.

### **7. Historical and Archaeological Resources**

To the best of our knowledge, no historical or archaeological resources of significance occur on the property.

### **8. Geological Resources**

To the best of our knowledge, no geological resources adjacent to the river will be changed by the proposed project.

### **9. Botanical Resources**

Existing trees located on the property to remain. New landscaping beds will be provided at the front and back of the house. New sod will be installed at the property.

### **10. Water Quality and Quantity**

The water quality of the river will not be negatively impacted by the proposed project. There will not be a septic system provided for the project. The house will connect to the city's sewerage and water system.

### **11. Hydrologic Features**

Local hydrology will not be negatively impacted by the proposed project.

12. Cultural Resources

There are no known cultural resources associated with this project.

13. Economic Impact of Project

Construction materials and labor will be sourced locally, generating economic activity and supporting jobs within the community.

**Steps to Minimize and/or Offset Potential Impacts to the River**

The building development requires a 20-foot setback from the rear property line, ensuring that construction activities for both the building and pool maintain a buffer to prevent any negative impact on Bayou St. John. The proposed dock will be located directly off the bayou bank to minimize disturbance to the waterway.

**Alternatives**

No alternatives considered.

**Applicant's Compliance History**

I have not been cited for any violation of the Scenic Rivers Act or other environmental programs.



# Vicinity Map

5830 Bancroft - Bayou St John

## Legend

- 5830 Bancroft Dr
- Baseball field
- Feature 1
- Holy Cross High School

Google Earth

Image © 2025 Airbus  
Image Landsat / Copernicus



1000 ft



# LEGER RESIDENCE:

5830 BANCROFT DR  
SQ. 46, LOT 9  
OAK PARK GARDENS SUBDIVISION

NEW ORLEANS, LA  
ZONING DIST: S-RS

Please be advised that these plans have been prepared by myself, being a registered Architect in the State of Louisiana, or under my supervision, and that to the best of my knowledge and belief, these drawings and specifications are in compliance with all local requirements.

Name [Signature]

License # 6538

I (will / ~~will not~~) be making periodic visits to the site.

## BUILDING AREA CALCS:

Lot Area	10850 SF
1st Floor:	2638 SF
2nd Floor:	1342 SF
Total Living:	3980 SF
Storage:	82 SF
Covered Porch:	334 SF
Carport	253 SF
Total Non. Living:	669 SF
TOTAL:	4649 SF

## VICINITY MAP



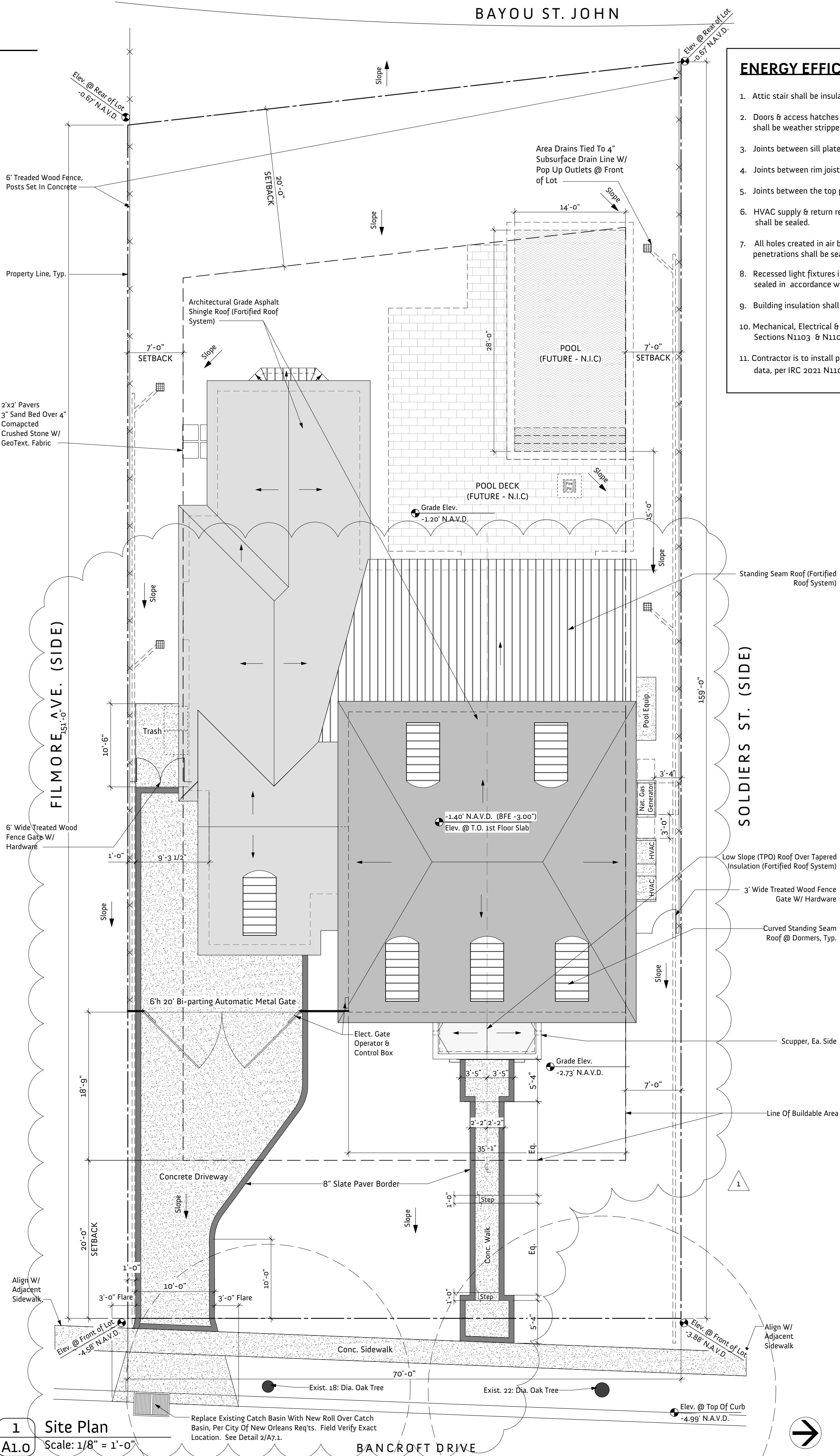
## DRAWING INDEX

- A1.0: Site Plan
- A2.0: Floor Plans
- A2.1: Schedules
- A3.0: Framing Plans
- A3.1: Roof Framing Plan
- A4.0: RCP/Elec. Plans
- A5.0: Exterior Elevations
- A5.1: Exterior Elevations
- A6.0: Wall Sections
- A7.0: Details
- A7.1: Details
- A8.0: Window Flashing Details

- S1.0A: General Notes
- S1.0B: General Notes
- S1.1: Pile Plan
- S1.2: Post-Tension Plan
- S1.3: Foundation Plan
- S1.4: Foundation Sections
- S1.5: Foundation Sections
- S1.6: Framing Details
- S1.7: Framing Details

## GENERAL NOTES:

- Dimensions shown on the Floor Plan are face of stud to face of face of stud unless noted otherwise.
- Contractor shall verify and coordinate clear dimensions required for equipment furnished by others and casework which is located in new work.
- Contractor shall not hang any equipment and/or materials from the HVAC ducts. All suspended equipment shall be hung from the structure above. Contractor shall not puncture HVAC ducts with sprinkler pipes or any other building materials.
- Plumbing fixture locations are shown on the floor plans. Plumbing system is to be Design/Build by the Plumbing contractor in accordance with the 2021 International Plumbing Code.
- HVAC system to be Design Build by the Mechanical Contractor in accordance with the 2021 International Mechanical Code. Additionally, outside air (at the rate of .05 CFM per Sq.Ft. of conditioned space) shall be introduced at the return plenum with sufficient means to balance to the required air flow.
- Electrical panel location, outlet & lighting locations shown on floor plan. Electrical system is to be Design/Build by the electrical contractor in accordance with the 2021 National Electrical Code.
- Coordinate with Owner regarding selection of specific finishes.
- General Contractor shall coordinate, apply & pay for all permits, inspections and/or certifications from the appropriate agencies.
- General Contractor shall be responsible for all means, methods, techniques, sequences, procedures and required safety precautions to accomplish the work.
- All roof & exterior wall penetrations shall be flashed and waterproofed per applicable codes and manufacturer's standards and recommendations.
- All materials, systems and building components shall be installed in accordance with applicable codes and manufacturer's standards and recommendations.
- Window protection is to be provided per IRC Section R301.2.1.2 with wood (1/2" plywood) protective panels w/attachment hardware to be attached per Table R301.2.1.2.
- Residence is to be constructed to withstand wind thrust exceeding 142 MPH, per Risk Category II requirements, in accordance with Section R301.2.1. IRC 2021. See Wall Strapping Details & Load Tables For Continuous Load Path Construction on attached structural drawings.
- Vapor barrier on top of soil under slab to be Stego Industries ASTM E 1745 Class A Vapor Barrier or approved equal. Install per manufacturer's requirements.
- All material shall be new and UL listed.
- The contractor shall inform the Architect in writing, during the bidding period, of any discrepancies or omissions noted on the drawings or specifications or of any variations needed in order to conform to codes, rules and regulations. Upon receipt of such information, the Architect will send written instructions to all concerned. Any such discrepancy, omission, or variation not reported shall be the responsibility of the contractor, and work shall be performed in a manner as directed by the Architect.
- Firestopping & draftstopping shall be per local building codes.
- Termite protection shall be provided in compliance with Sec. R318 IRC 2021 ed., by EPA registered & labeled Chemical Termiticide treatment or Termite Baiting System, installed and maintained per manufacturer's requirements.
- Provide & install Cement Tile Backer Board at all tub & shower surrounds.
- All existing trees to remain shall be protected during construction to avoid damage from adjacent work, equipment and soil or fill being piled on or against root system & base.
- No drywall products used for this project shall be manufactured in China or be from manufacturers known to be involved in ongoing litigation involving high sulphur levels. Contractor shall provide material data sheets to Owner for drywall products provided.
- Residence has been designed following IRC 2021 sections N1101 through N1104.



## ENERGY EFFICIENCY NOTES:

- Attic stair shall be insulated with a min R-10 insulation.
- Doors & access hatches between conditioned and unconditioned spaces shall be weather stripped.
- Joints between sill plates and floor decking and/or slab shall be sealed.
- Joints between rim joists and sub floor shall be sealed.
- Joints between the top plate and drywall shall be sealed.
- HVAC supply & return register boots that penetrate the thermal envelope shall be sealed.
- All holes created in air barrier by wiring, plumbing or other obstructions or penetrations shall be sealed.
- Recessed light fixtures installed in the building thermal envelope shall be sealed in accordance with IRC 2021 Section N1102.4.5.
- Building insulation shall be installed per IRC 2021 Table N1102.4.1.1.
- Mechanical, Electrical & Plumbing systems shall comply with IRC 2021 Sections N1103 & N1104.
- Contractor is to install permanent certificate outlining energy efficiency data, per IRC 2021 N1104.14 in utility room or other approved location.



2134 Magazine St, Suite 200  
New Orleans, Louisiana 70130  
www.scnz.net | (504) 301-3722

Leger Residence  
5830 Bancroft Dr.  
New Orleans, Louisiana 70124

## Issued

Date	To	Use / Restriction
01.07.25	Owner	Schematic Design
01.15.25	Owner	Revised SD
01.24.25	Owner	Revised SD
02.05.25	Owner	Revised SD - 1st Floor
03.07.25	Owner	Revised SD Plans
03.11.25	Owner	Revised SD Plans
03.13.25	Owner	Revised SD Plans
03.18.25	Owner	Revised Exterior Views
03.25.25	Owner	Revised Exterior Views
03.27.25	Owner	Revised Pool Location
04.25.25	Owner	Design Development
05.16.25	Owner	Permitting
05.30.25	Owner	Permitting
06.02.25	Owner	Permitting
07.30.25	Owner	Owner Revisions

## Progress

Release ☒

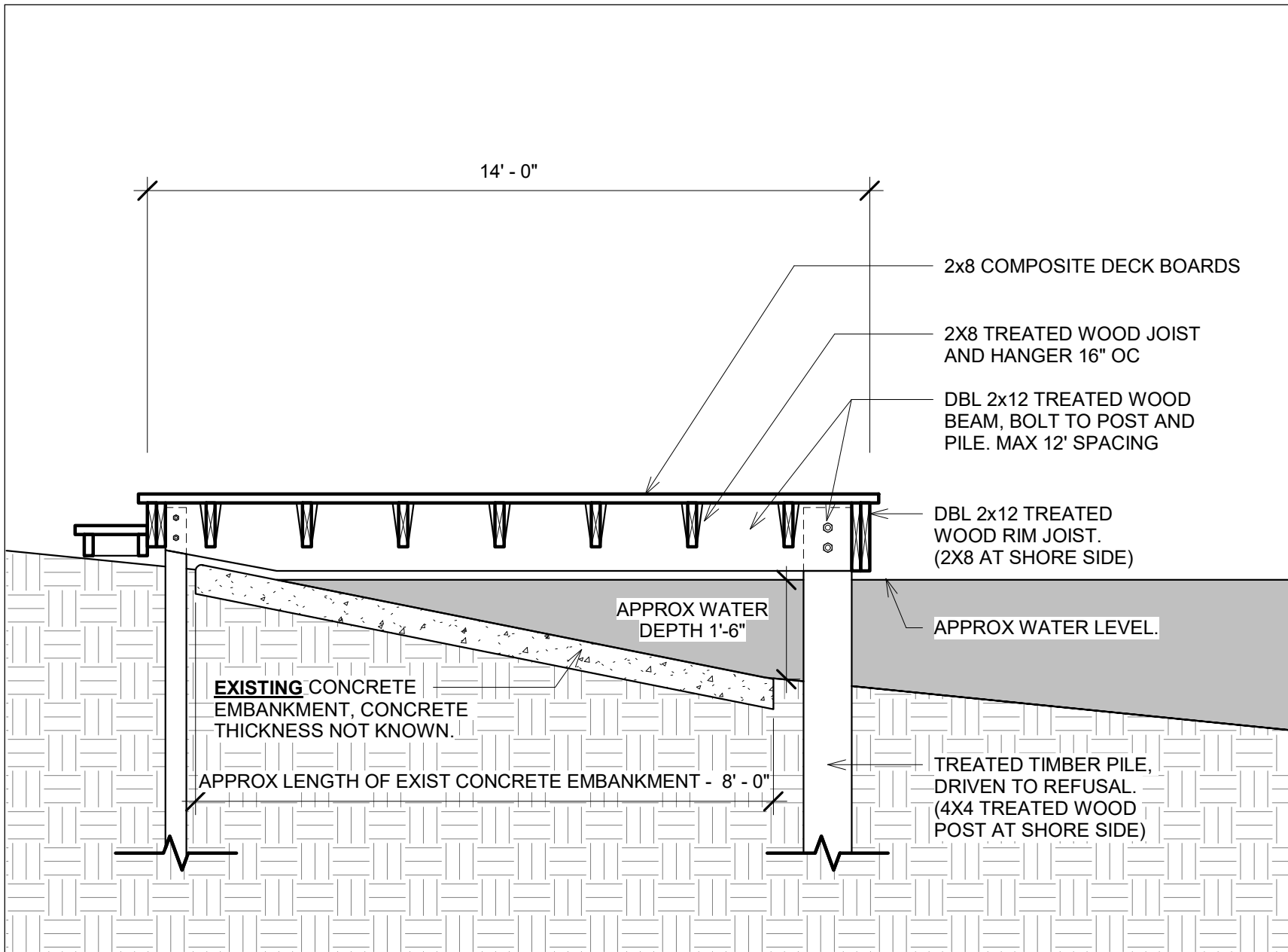


Project No. 2447 Drawn By JWZ

Cover Sheet  
& Site Plan

A1.0





1 Section Detail - BSJ Deck  
1/2" = 1'-0"

## DECK SECTION

Project number	ASK-01
Date	11/4/2025
Drawn by	
Checked by	Scale 1/2" = 1'-0"

LEGER  
BANCORFT  
RESIDENCE

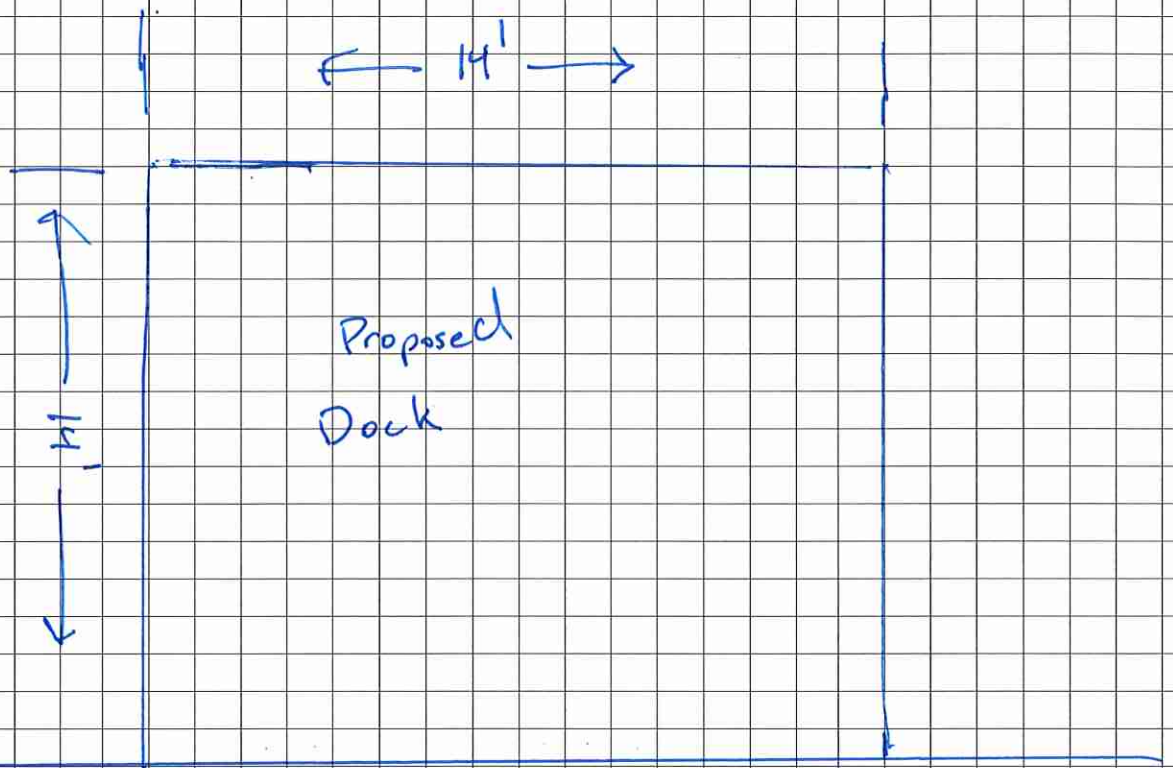
PROJECT: 5830 Barroff

BY: WTW

CALCULATION SHEET

DATE: 11/4/25

Bayou St. John



Existing Bulkhead / Land

Not to Scale



## Project Site Photos













