LOUISIANA NATURAL AND SCENIC RIVERS SYSTEM

PERMIT APPLICATION

Permit #_____ (Assigned by Department)

The Louisiana Department of Wildlife and Fisheries' Scenic Rivers program is authorized by LRS title 56, Chapter 8 Part II. This law requires permits authorizing activities in or affecting rivers that have been designated by the Louisiana Legislature as Natural and Scenic. Information provided on this form will be used in evaluating the application for a permit. Information in this application is made a matter of public record through issuance of a public notice. Disclosure of the information requested is voluntary, however, the data requested necessary in order to communicate with the applicant and to evaluate the permit application. If necessary information is not provided, the permit application cannot be processed nor can a permit be issued.

APPLICANT INFORMATION

Name of Applicant ROUSSEAU GROUP LLC	Name of Agent (if any) BIOLOGICAL SURVEYS, INC
Address 111 TERRA BELLA BLVD	Address PO BOX 94
City, State, Zip COVINGTON, LA, 70433	City, State, Zip COVINGTON, LA 70434
Phone 985-871-7171	Phone 985-893-1321
Email Address SEAMUS@TERRABELLAVILLAGE.COM	Email Address BIOSURVEYSINC@GMAIL.COM

DESCRIPTION OF THE PROPOSED ACTIVITY

Brief summary of the description and purpose of the proposed activity (details to be attached as a separate document)
A 3.25 ACRE DRY DETENTION POND TO SERVICE PHASE 2A-1 OF TERRA BELLA, WHICH IS A 30 LOT EXPANSION OF THE SUBDIVISION. A 100' BUFFER WILL REMAIN ALONG SOAP AND TALLOW BRANCH. THE POND WILL BE DISCHARGED TO A SWALE OUTSIDE THE 100' BUFFER BEFORE FLOWING TO THE BRANCH AS SEEN ON THE ATTACHED PLAN.

Is any portion of the activity complete? YES or (NO) (If yes, indicate month and year of completion)

LOCATION OF PROPOSED ACTIVITY

Stream Name	SOAP AND TALLOW BRANCH
Address	ROUSSEAU RD
City, State, Zip	COVINGTON, LA 70433
Parish	ST. TAMMANY
Sec/Township/Range	S 45, T-7-S, R-10-E
Latitude/Longitude	30.472594, -90.149398

ADJACENT LANDOWNERS

Names, Addresses, Phone Numbers of Adjacent Landowners
TALLOW CREEK HOMEOWNERS ASSOCIATION- PO BOX 152 MADISONVILLE, LA 70447
MINNIE RUSSELL- 71332 FRANCIS RD COVINGTON, LA 70433
TERRA BELLA GROUP LLC- 100 TERRA BELLA BLVD COVINGTON, LA 70433

ENVIRONMENTAL ASSESSMENT

Must be a separate document. See the attached instruction sheet for completing the assessment.

CONFIRMATION OF INFORMATION ACCURACY

Application is hereby made for a Scenic River Permit to authorize the activities described herein. I certify that I am familiar with the information contained in this application and that, to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities, or I am acting as the duly authorized agent of the applicant.

Signature

12/22/25
Date

Form# LSR3 December 2015

JEFF LANDRY
GOVERNOR

TYLER M. BOSWORTH
SECRETARY

PO BOX 98000 | BATON ROUGE LA | 70898

Dear Scenic River Permit Applicant:

Please review and concur on the following statement regarding the issuance of permits by the Louisiana Department of Wildlife and Fisheries. This agreement must be signed and returned before a Scenic River Permit can be issued.

"I have been advised and do understand that by applying for and accepting a Scenic Rivers permit issued by the Louisiana Department of Wildlife and Fisheries, I am being allowed to engage in an activity which would otherwise be prohibited by law or for which a permit is required. I understand that the permit is not a license and confers no property right upon me. I specifically agree to abide by all State and Federal fish and wildlife laws and regulations, and all State and Federal laws and regulations which relate to this permit or the permitted activity, and by all other terms and conditions of this permit. I understand that the permit for which I am applying may be suspended, annulled, withdrawn or revoked and that I may be assessed civil penalties, all in accordance with the provision of the Louisiana Administrative Procedure Act, and that I may be denied future permits as a consequence of my failure to fully and completely comply with the terms and conditions of the permit, as well as other laws and regulations pertinent thereto. If served with or notified of a cease and desist order signed by the Scenic Rivers Administrator, I agree to immediately and without delay cease all activities and operations which relate to the permitted activity or which are impacting the Scenic River, until such time as the matter can be resolved in an adjudicatory hearing pursuant to the Louisiana Administrative Procedure Act. I understand and agree that any permit issued to me by the Louisiana Department of Wildlife and Fisheries is in the nature of a privilege which is being voluntarily extended to me by the Department and the failure on my part to cooperate with the Department can result in the loss of the privilege conferred and the denial of future requests for permits. By accepting this permit, I evidence my agreement to be bound by all conditions and stipulations set forth herein."

Authorized Signature

12/22/25
Date

REV. 5/23/25

BIOLOGICAL
SURVEYS, INC.

December 18, 2025

LDWF Scenic Rivers Program
Attn: Ms. Amelia Wolfe
2000 Quail Drive, Room 432
Baton Rouge, LA 70808

Subject: Louisiana Natural and Scenic Rivers System Permit Application
Terra Bella Phase 2A-1 Pond
Soap and Tallow Branch
Covington, LA
Rousseau Group, LLC

Dear Ms. Wolfe,

The proposed project is located north of I-12 and west of LA-21 in Covington, and is bordered by Soap and Tallow Branch to the north, Rousseau Rd. to the east, Tallow Creek Subdivision to the west and Francis Rd. to the south. The project consists of a ±3.25 acre dry detention pond to service Phase 2A-1 of Terra Bella, which is a 30 lot expansion of the subdivision. As seen on the attached plat, the pond will be constructed in the northwest quadrant of Rousseau Rd. and Francis Rd., well outside the 100' buffer of Soap and Tallow Branch. Additionally, the pond will discharge to a natural swale outside the 100' buffer before flowing to the branch, providing additional filtration to stormwater. A SWPPP will be implemented and BMPs will be maintained continuously throughout the construction of the project. Once constructed, bare soil areas will be seeded/sodded immediately to prevent erosion and sedimentation. Additionally, the pond banks will be planted with large saplings as per the attached planting plan which has been approved by St. Tammany Parish.

The pond has been designed to minimize potential impacts to Soap and Tallow Branch to the greatest extent practicable. Alternative designs would result in direct discharge to the branch or encroachment into the 100' buffer.

The pond footprint has been designed to avoid impacts to on-site wetlands and non-wetland waters, so no USACE permits are necessary. The jurisdictional determination is attached for reference. Phase 2A-1 has already been authorized by the USACE.

The applicant has never been cited for a violation of the Clean Water Act.

Environmental Assessment

1. Existing Land Use
   The site currently wooded. Surrounding land use consists of a mixture of dense residential development and woodland along creek and river bottoms.
2. Wilderness Qualities
   This site is located in a heavily developed area of St. Tammany Parish with extensive residential and commercial development in the vicinity. Some wooded tracts and corridors along creek and river bottoms provide some wilderness quality, but it is largely a developed area.
3. Scenic Values
   The 3.25-acre pond site will be cleared and excavated/graded; however, it is unlikely to take any scenic values away from Soap and Tallow Branch as the pond and discharge location are well outside the 100' buffer, and may not even be visible from the branch. Additionally, the pond banks will be planted with large saplings per the attached planting plan.
4. Ecological Regimes
   The proposed project should have very little impact on the ecology of the adjacent scenic stream. There is no work proposed that will directly impact the branch since the discharge point is outside the 100' buffer. A SWPPP will be utilized to minimize turbid discharge to the greatest extent practicable.
5. Recreational Use/ Opportunities
   No additional recreational use or opportunities will be created by the proposed project at this time, as no activity will take place within 100 feet of the scenic stream.
6. Aesthetic Values
   Natural aesthetic values should not be significantly degraded for the same reasons as listed in number 3 above.
7. Fish and Other Aquatic Life
   Fish and aquatic life should not be impacted by the proposed project. No activities will take place within 100 feet of the stream. Furthermore, Best Management Practices (BMPs) will be utilized to reduce runoff and limit the amount of siltation reaching the scenic stream.
8. Wildlife
   The site does contain some wildlife habitat that will be impacted by the pond. However, the 100' no cut buffer along the branch will be maintained as a travel corridor for any wildlife in the area.
9. Historical and Archaeological Resources
   To our knowledge, no historical or archaeological resources are known to occur on the property.
10. Geological Resources
    No geological resources adjacent to the scenic streams will be changed by the proposed project.

11. Botanical Resources
    All botanical resources within the 100' no cut buffer will be maintained. No rare or protected plants are known to occur within the proposed development.
12. Water Quality and Quantity
    As stated in number 7 above, BMPs will be utilized to reduce turbid runoff and siltation as much as possible. All bare soils will be seeded as soon as practicable during the construction process. Furthermore, per St. Tammany Parish ordinance, storm water will be managed in a way to decrease post development runoff by at least 25% from pre-developed conditions.
13. Hydrologic Features
    There should be no negative impacts on the hydrology of the project area. Per St. Tammany Parish requirements, a project must be designed to reduce runoff by at least 25% post development.
14. Cultural Resources
    There are no known cultural resources associated with this project.
15. Economic Impact of Project
    This project will provide numerous full time construction jobs, and will add to the St. Tammany Parish tax base.

If you have any questions or require additional information, please do not hesitate to call.

Sincerely,

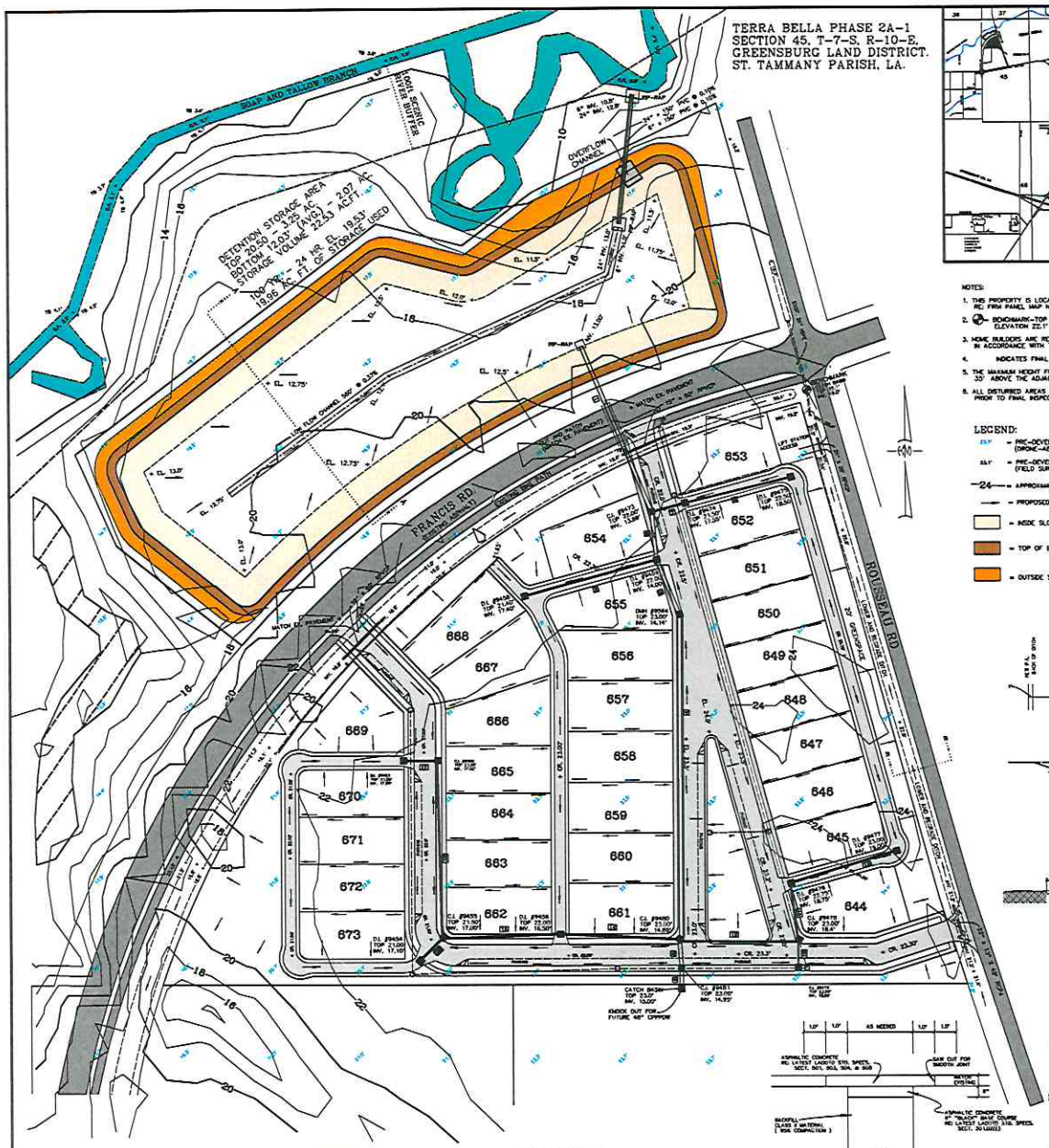
Thomas K. Brown

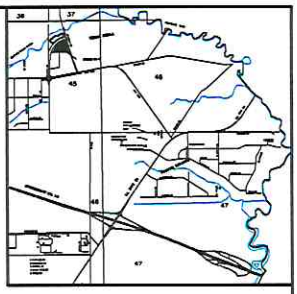
Thomas K. Brown

Figure 1. Vicinity Map

+/- 10.5 Acres on Francis Rd.
Section 45, T7S-R10E
Covington, St. Tammany Parish
Rousseau Group, LLC

TERRA BELLA PHASE 2A-1
SECTION 45, T-7-S, R-10-E,
GREENSBURG LAND DISTRICT.
ST. TAMMANY PARISH, LA.



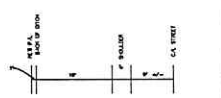


NOTES:

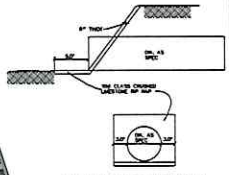
1. THIS PROPERTY IS LOCATED IN FLOOD ZONE B RE: FIRM PANEL MAP NO. 225205 0210 C; REV. 10/17/89
2. BENCHMARK-TOP OF CATCH BASIN AS SHOWN ELEVATION 22.1' MSL, NAVD 88 (GEOID 18)
3. HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOTS IN ACCORDANCE WITH THE "AS BUILT" PAVING & DRAINAGE PLAN.
4. INDICATES FINAL LOT GRADE ELEVATION
5. THE MAXIMUM HEIGHT FOR ALL RESIDENCES SHALL BE 30' ABOVE THE ADJACENT GRADE
6. ALL DISTURBED AREAS SHALL HAVE VEGETATIVE COVER PRIOR TO FINAL INSPECTION

LEGEND:

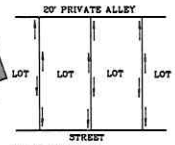
- 23.7' = PRE-DEVELOPMENT SPOT ELEVATIONS (DRONE-AERIAL)
- 23.1' = PRE-DEVELOPMENT SPOT ELEVATIONS (FIELD SURVEY DATA)
- 24 = APPROXIMATE CONTOUR LINES @ 2ft INTERVALS
- = PROPOSED DRAINAGE PATTERN
- = INSIDE SLOPE
- = TOP OF BERM
- = OUTSIDE SLOPE



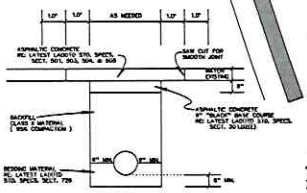
SECTION B-B



CRUSHED LIMESTONE RIP-RAP DETAIL



TYPICAL LOT DRAINAGE SCHEMATIC



CUT AND PATCH EXISTING ASPHALT

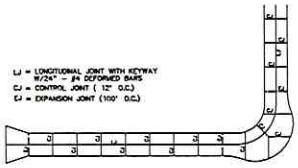
CONCRETE PAVEMENT NOTES:

1. UNLESS OTHERWISE SHOWN ALL PAVEMENTS SHALL BE A MINIMUM OF 6" THICK.
2. CONCRETE SHALL BE MIXED PER MINIMUM OF 28 DAYS. ON DESIGN CONTROL AND TESTING IN ACCORDANCE WITH SPECIFICATIONS. MINIMUM SACKS OF CEMENT PER CUBIC YARD SHALL BE 6.5 SACKS.
3. CONCRETE SHALL BE MIXED TO A SLUMP AT THE POINT OF DISCHARGE CHECKED IN ACCORDANCE WITH ASTM C143 AT THE TIME OF PLACEMENT & MEANS REQUIRING MINIMUM 4.5 & 5.5 SACKS PER CUBIC YARD OF CONCRETE WITH AIR ENTRAINMENT OF 4.5 TO 6.5 PERCENT. CONCRETE SHALL BE PLACED AT THE TIME OF PLACEMENT OF 4" CONCRETE IN NOT LONGER THAN 1 1/2 HOURS AFTER THE INITIAL INTRODUCTION OF THE MIXING WATER. THE LOAD SHALL BE DELIVERED AND USED.
4. SAND SHALL BE OBTAINED FROM SOIL INVESTIGATION REPORT OR INDICATED BY DESIGN TO BE PROVIDED FROM SOIL INVESTIGATION REPORT OR SUBMITTED TO ENGINEER.
5. A REPRESENTATIVE SAMPLE SHALL BE PROVIDED FOR REQUIRED TESTING.
6. UNIT SLAB CONSTRUCTION ONLY WITH WRITTEN APPROVAL OF THE ENGINEER.
7. CONCRETE SHALL BE CURED WITH CURING UNITS, 21 DAYS AFTER PLACEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
8. ALL MATERIALS IN PAVEMENT SHALL BE NON-FLAT.
9. JOINT REPAIR SHALL BE PAY EXTENSION COST, THE MEETING ALL OF THE REQUIREMENTS OF THE LOUISIANA DEPARTMENT OF TRANSPORTATION AND ALL WRITTEN PAPERS SPECIFICATIONS FOR APPLICATION. JOINTS SHALL BE PLACED AT THE LOCATIONS AND TYPES OF APPLICATION.
10. THE LOCATION ON THE PLANS OF EXISTING UTILITIES ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES. THE CONTRACTOR IN ITS CONTRACT PRICE SHALL CAREFULLY VERIFY THE LOCATIONS AND TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO AVOID DAMAGE TO THESE EXISTING AND ANY OTHER EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT "LOUISIANA ONE CALL" (1-800-272-3020) FOR "LOCATE" OF ALL APPROPRIATE UTILITY COMPANIES TO MARK THEIR LINES.

STORM DRAINAGE SYSTEM NOTES:

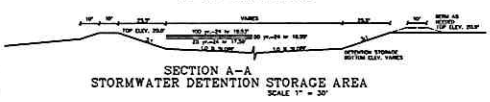
1. ROUND CONCRETE PIPE, 18" INCHES IN DIAMETER AND LARGER SHALL CONFORM IN ALL REGARDS TO THE LATEST PROPOSED SPECIFICATIONS OF A.S.T.M. C-76 TABLE II WALL "B" AND SHALL BE CLASS III, WITH CLASS "B" JOINTS UNLESS OTHERWISE SHOWN.
2. PLASTIC CULVERT PIPE TO BE PERFORATED POLYVINYL CHLORIDE CULVERT PIPE DEVELOPED IN ACCORDANCE WITH ASTM D-3350 CELL CLASS 124-5 PERMA TO BE IN ACCORDANCE WITH AASHTO-DIVISION I, SECTION 30 AS LISTED IN AASHTO-DIVISION I.
3. CONCRETE CULVERT PIPE SHALL CONFORM TO A.S.T.M. D-3034 CLASS 3 TOUGHCORE PIPE, UNLESS OTHERWISE SHOWN.
4. WOVEN CLOTH FILTER MATERIAL SHALL BE GALVANIZED STEEL OR BLACK IN ACCORDANCE WITH THE APPLICABLE SECTIONS AASHTO M-218 AND M-36, INSTALLATION IN ACCORDANCE WITH AASHTO.
5. CONTRACTOR SHALL USE AN ACCEPTABLE FILTER CLOTH WITH AN OVERLAP OF 12 INCHES AROUND JOINTS ON ALL PIPE THAT FALLS BELOW THE PROPERTY LINE.
6. CORRUGATED METAL PIPE SHALL BE GALVANIZED STEEL OR BLACK.
7. CONTRACTOR SHALL USE A SOLID WALL PLASTIC CULVERT PIPE IN SERVICE CONNECTED TO BE APPROVED AND SHALL BE SCHEDULE 40 PVC PIPE.
8. CONTRACTOR SHALL USE A 12 INCHES DIAMETER AND TO BE AUGER IN CHOICE.
9. THE LOCATIONS ON THE PLANS OF EXISTING UTILITIES ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES. THE CONTRACTOR IN ITS CONTRACT PRICE SHALL CAREFULLY VERIFY THE LOCATIONS AND TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO AVOID DAMAGE TO THESE EXISTING AND ANY OTHER EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT "LOUISIANA ONE CALL" (1-800-272-3020) FOR "LOCATE" OF ALL APPROPRIATE UTILITY COMPANIES TO MARK THEIR LINES.
10. THE CONTRACTOR IS TO CONSTRUCT THE DRAINAGE SYSTEM AS SHOWN ON THE PLANS. DRAINAGE PLAN SHOWING THE LOCATIONS OF AND INVERT ELEVATIONS OF ALL DRAINAGE STRUCTURES.

NOTE: ALL MATERIALS AND CONSTRUCTION TO MEET LATEST LADOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.

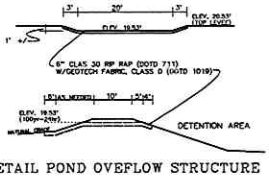


TYPICAL JOINT LAYOUT

LOW FLOW CHANNEL DETAIL



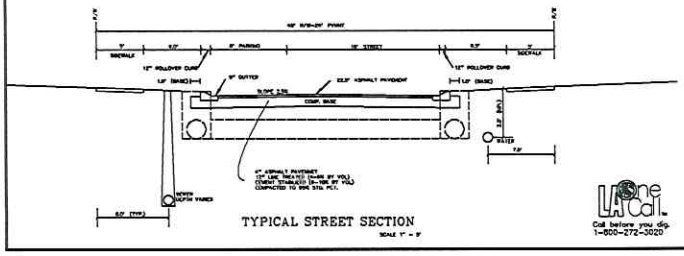
SECTION A-A
STORMWATER DETENTION STORAGE AREA
SCALE 1" = 30'



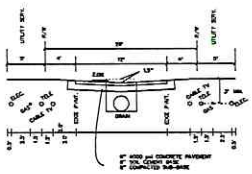
DETAIL POND OVEFLOW STRUCTURE

	PIPE NUMBER AND DATA	STRUCTURE UP	STRUCTURE DOWN	INVERT UP	INVERT DOWN
1	48" x 207' CPPPDW @ 0.43%	9473	POND	13.89'	13.00'
2	48" x 55' CPPPDW @ 0.20%	9459	9473	14.00'	13.89'
3	48" x 86' CPPPDW @ 0.20%	9564	9459	14.14'	14.00'
4	48" x 376' CPPPDW @ 0.20%	9480	9564	14.29'	14.14'
5	48" x 28' CPPPDW @ 0.20%	9481	9480	14.95'	14.29'
6	48" x 24' CPPPDW @ 0.20%	OPEN	9481	15.00'	14.90'
7	12" x 36' RPVCP @ 10.17%	9474	9473	17.55'	13.89'
8	12" x 127' RPVCP @ 0.75%	9475	9474	18.00'	17.55'
9	12" x 155' RPVCP @ 2.19%	9455	9459	17.40'	14.00'
10	15" x 134' RPVCP @ 2.52%	9478	9480	18.40'	14.89'
11	15" x 66' RPVCP @ 0.51%	9476	9478	18.75'	18.40'
12	12" x 127' RPVCP @ 0.20%	9477	9476	19.00'	18.70'
13	12" x 30' RPVCP @ 0.33%	9479	9478	18.50'	18.40'
14	18" x 138' RVCCP @ 1.17%	9456	9480	16.50'	14.89'
15	18" x 135' RPVCP @ 0.37%	9455	9456	17.00'	16.50'
16	18" x 206' RPVCP @ 0.20%	9452	9455	17.42'	17.00'
17	15" x 37' RPVCP @ 0.22%	9453	9452	17.50'	17.42'
18	15" x 38' RPVCP @ 0.28%	9454	9455	17.10'	17.00'

ELEVATIONS ARE REFERENCED TO NAVD 88, GEOID 18.



TYPICAL STREET SECTION
SCALE 1" = 5'



ALLEY SECTION

Call before you dig.
1-800-272-3020

STATE OF LOUISIANA
KELLY McHUGH
Licensed No. 19940
PROFESSIONAL ENGINEER
CIVIL ENGINEERING
12-17-25

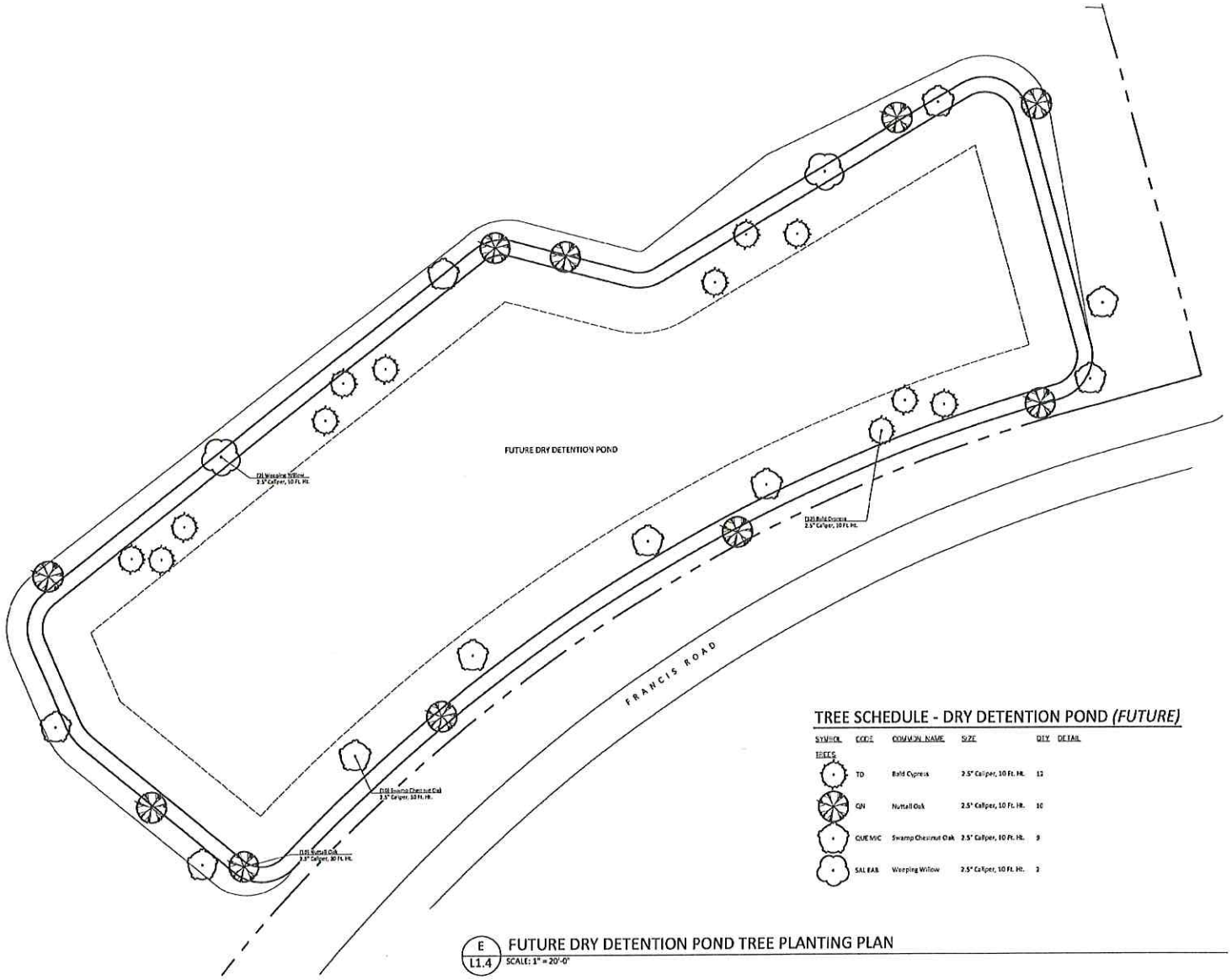
PAVING AND DRAINAGE PLAN

TERRA BELLA PHASE 2A-1,
SECTION 45, T-7-S, R-10-E,
GREENSBURG LAND DISTRICT.
ST. TAMMANY PARISH, LA.

REVISIONS		
MARK	DATE	
	09-30-25	
EDITED	10-15-25	
	11-12-25	
	12-17-25	

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST. - MANDEVILLE, LA.
626-5611

SCALE	1" = 50'	DATE	08-19-23
DRAWN	DRJ	JOB NO.	23-211
DESIGN	KJM	DWG. NO.	23-211-PD



TREE SCHEDULE - DRY DETENTION POND *(FUTURE)*

SYMBOL	CODE	COMMON NAME	SIZE	QTY	DETAIL
TREES					
	TD	Bald Cypress	2.5" Caliper, 10 Ft. Ht.	12	
	QN	Nuttall Oak	2.5" Caliper, 10 Ft. Ht.	10	
	QUE MIC	Swamp Chestnut Oak	2.5" Caliper, 10 Ft. Ht.	9	
	SAL BAB	Weeping Willow	2.5" Caliper, 10 Ft. Ht.	2	

E
L1.4
FUTURE DRY DETENTION POND TREE PLANTING PLAN
SCALE: 1" = 20'-0"

SMOKETREE LANDSCAPE

CUSTOM LANDSCAPE DESIGN, INSTALLATION & MAINTENANCE

ESSIG COMMERCIAL WAY S
MANDEVILLE, LOUISIANA 70471
P: 985.778.2110/279
F: 985.778.2110/271
EMAIL: SMOKETREE@BELLSOUTH.NET
WWW.SMOKETREELANDSCAPE.COM

STATE OF LOUISIANA
Nicole M. Bassham
Licensed
Landscape Architect

TERRA BELLA VILLAGE

TERRA BELLA BOULEVARD
COVINGTON, LOUISIANA 70433

Title:
MITIGATION TREE PLANTING PLAN - DETENTION POND

NORTH

DATE:	08.20.25
FILE:	TERRA BELLA TREE MITIGATION PLAN.DWG
DRAWN BY:	TWS
CHECKED:	GM
SCALE:	1" = 30' - 0"
SHEET:	L1.3

Site Photographs

View downslope towards discharge location into swale.

View upslope towards pond location from discharge point.

Site Photographs

View of swale connection to branch.

View from branch along swale towards discharge point.

Site Photographs

View upstream along branch from swale connection.

View downstream along branch from swale connection.

DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW ORLEANS DISTRICT
7400 LEAKE AVE
NEW ORLEANS, LA 70118-3651

September 23, 2024

Regulatory Division
Jurisdiction and Enforcement Branch

Mr. Thomas K. Brown
Biological Surveys, Inc.
P.O. Box 94
Covington, LA 70433

Dear Mr. Brown:

Reference is made to your request, on behalf of Rousseau Group, LLC, for a U.S. Army Corps of Engineers' (Corps) jurisdictional determination on property located in Section 1, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana (enclosed map). Specifically, this property is identified as a 10.5 - acre site on and north of Francis Road located in Covington.

Based on review of recent maps, aerial photography, soils data, and the delineation report provided with your request, we have determined that part of the property contains wetlands and non-wetland waters that may be subject to Corps' jurisdiction. The approximate limits of the wetlands and non-wetland waters are designated in red and blue, respectively, on the map. A Department of the Army permit under Section 404 of the Clean Water Act will be required prior to the deposition or redistribution of dredged or fill material into waters of the U.S.

The delineation included herein has been conducted to identify the location and extent of the aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This delineation may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of an NRCS Certified Wetland Determination with the local USDA service center, prior to starting work.

You and your client are advised that this preliminary jurisdictional determination is valid for a period of 5 years from the date of this letter unless new information warrants revision prior to the expiration date. Additionally, this determination is only valid for the identified project or individual(s) only and is not to be used for decision-making by any other individual or entity.

Should there be any questions concerning these matters, please contact Mr. Michael Windham at (504) 862-1235 and reference our Account No. MVN-2011-00524-2-SK. If you have specific questions regarding the permit process or permit applications, please contact our Eastern Evaluation Branch at (504) 862-2225.

Sincerely,

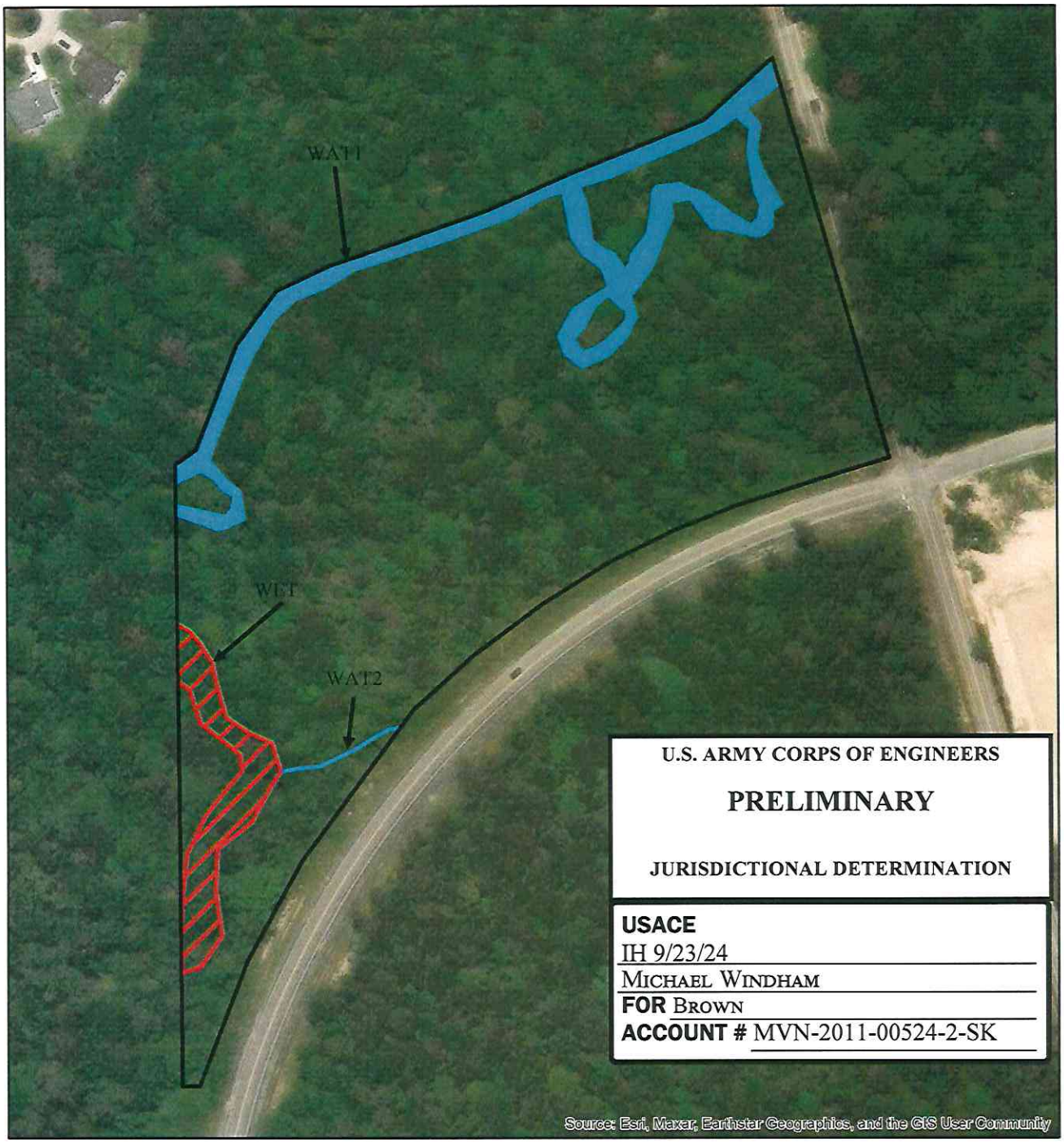
Brad Guarisco

Digitally signed by Brad Guarisco
Date: 2024.09.23 19:35:03 -05'00'

for Martin S. Mayer
Chief, Regulatory Division

Enclosures

Figure 7. Aquatic Resources Map: +/-10.5 Acres on Francis Rd.
Rousseau Group, LLC



Biological Surveys, Inc.
P.O. Box 94
Covington, LA 70434
Date: February 27, 2024

**Note this is NOT a boundary survey and should not be utilized as one.

Legend

- Review Area
- Wetland +/-0.4 Acres
- Non-Wetland Waters +/-0.9 Acres

0 100 200 400 Feet

N W E S